

## Supplemental Supporting Information for a Finding of Effect

### PUBLIC COMMENT DRAFT

Project: Readfield 25113.00  
Scope: Multimodal Improvements  
Finding of Effect: **No Adverse Effect**

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*This report describes the Maine Department of Transportation and the Federal Highway Administration's compliance with Section 106 of the National Historic Preservation Act (36 CFR Part 800). It details the finding of effect to historic properties listed in or eligible for listing in the National Register of Historic Places (NRHP) that are located in the subject project's Area of Potential Effects (APE). This report also assesses how the proposed project may directly or indirectly affect and/or diminish those characteristics and aspects of integrity that qualify a historic property for inclusion in the NRHP. This report is specific to the Section 106 assessment of effects, as opposed to general environmental impacts. Consultation with coordinating agencies and the public is ongoing.*

#### **Purpose and Need**

The purpose of this project is to improve safety and connectivity for pedestrians and improve on-street parking for the town of Readfield.

The need for this project is due to the lack of connectivity between existing pedestrian pathways and absence of on-street parking in the town of Readfield.

The Readfield Fairgrounds are located on Church Road approximately 0.32 miles north of Route 17 (Main Street) in Readfield. This area also hosts several recreational trails leading to other areas within the Town such as the Maranacook Community High School. In the existing condition, no pedestrian connection exists between the sidewalks along Main Street and the Fairgrounds. Additionally, this area has a shortage of parking during Community events at the Fairgrounds as well as the Readfield Union Meeting House.

#### **Proposed Action**

The proposed action would consist of constructing a sidewalk from Route 17 (Main Street) to the Readfield Fairgrounds on Church Road. The sidewalk will generally be 5.5' wide with some locations having additional width where utilities are present. The sidewalk is proposed along the western side of Church Road for the first 0.20 miles, at which point a raised, mid-block, crossing is proposed with an RRFB system. The remainder of the sidewalk is located along the eastern side of Church Road. Esplanades have been proposed in curb bump outs near drives and existing utility pole locations. On-street parking is proposed adjacent to the sidewalk in several locations, with curb bump outs to delineate driveways and reduce the need for utility pole relocations. Traffic calming is proposed as part of the project, including two speed humps and the raised crosswalk. Drainage improvements include installation of a closed drainage system where sidewalks are proposed. Outlet locations are proposed to generally

match the existing outlet locations. ADA improvements have been proposed at the Main Street/Church Road/Winthrop Road intersection.

The proposed typical section matches the existing vertical alignments and the existing horizontal alignments of the roadway centerline. The proposed section consists of 11' travel lanes and 2' shoulders/8' on-street parking. A 5.5' bituminous sidewalk has been proposed along Church Road from Main Street to the Readfield Fairgrounds with a mid-block crossing approximately 0.20 miles into the project. Concrete slipform curb has been proposed in areas of proposed sidewalk improvements.

The proposed pavement structure consists of 4" HMA and 18" aggregate subbase course gravel. The proposed pavement structure in sidewalk and residential driveway areas will consist of 2" HMA and 12" aggregate subbase course gravel. The proposed pavement design in commercial driveway areas will consist of 3" HMA and 11" aggregate subbase course gravel.

**Federal Action**

Federal funding.

**Definition of Area of Potential Effect (APE)**

The proposed project is located in Readfield. The map below shows the APE.

### READFIELD 25113.00 APE



Figure 1. Readfield 25113.00 Area of Potential Effect

### Historic Properties

The proposed project is located in Readfield, Kennebec County, Maine. The descriptions are based on Maine Historic Preservation Commission (MHPC) forms and/or National Register of Historic Places nominations.

#### **1146 Main Street (Bittar Robert W, Sta. 100+00R to Sta. 101+00R)**

##### ***National Register-Eligible***

##### ***Criterion A, Commerce***

It's a two-story gable front Italianate-style commercial building with an interior brick chimney. It features cornice returns and cornerboard pilasters. Small brackets are



found along the storefront. The building is clad in clapboard siding. The windows are six-over-six wood double-hung with minimal wood trim. The storefront features an early twentieth-century configuration with a recessed entry and twenty-four light display windows. The building has a four-bay, two-story side-gabled frame addition on the west elevation. Its period of significance is c.1880 to c.1971

#### **Readfield Grange (Samara Property Management, LLC, Sta. 202+70L to Sta. 203+35L)**

##### ***National Register-Eligible***

##### ***Criteria Criterion A for Agriculture and Social History at the local level***

The Readfield Grange was formed on March 3, 1875, with 38 members. The chapter constructed this building in 1897. The Grange (officially known as the Patrons of Husbandry) was an agricultural social organization that gained popularity in the 1870s. It sought to provide farmers with education and social opportunities through lectures,



dances, dinners, and skits. By 1876 Maine boasted 228 Grange chapters. The organization remained popular with Grange membership increasing steadily through the 1940s. The Readfield Grange continued meeting well into the twentieth century and from 1948 to 1963 held annual meetings at the Readfield Fairgrounds. The chapter ceased functioning in the 2000s. The building currently houses a private school. The building retains enough integrity to convey its significance as a Grange, despite the use of vinyl siding and the added

secondary egress. The period of significance is 1897.

**Readfield Union Meeting House (Union Church, Sta. 204+10L to Sta. 206+40L)*****National Register-Listed******Criteria A and C for Art and Architecture.***

The 1828 Federal-style church has a pedimented gable-front roof with a square central tower topped with an octagonal belfry. The tower projects from the façade and is brick at the first story with a rounded arched window and clad in clapboards from the second



story up. The second story features a clock on the north elevation. The meeting house is six bays long with arched nine-over-nine or stained-glass windows. A commemorative bronze plaque placed in 1928 is located below the window on the tower. In 1866 prominent citizens hired Hubert Lovejoy, an Auburn architect, to alter the interior of the building, which included the completion of trompe l'oeil work by Charles Schumacher, a Portland artist. Its period of significance is 1828 and 1866.

**Note –**

The Governor Jonathan G. Hunton House was determined to be eligible for listing in the National Register during the National Register eligibility determination phase of this project. However, this property does not have any direct work and has therefore not been evaluated here.

**Impacts to Property**

The following addresses potential impacts to properties as a result of the proposed action.

**1146 Main Street (Bittar Robert W, Sta. 100+00R to Sta. 101+00R)*****National Register-Eligible******Criterion A, Commerce***

The proposed action would result in **No Adverse Effect** to the property at 1146 Main Street. The proposed action would reconstruct the existing curb ramps at the Main Street/Church Road intersection according to current ADA design standards. This would require temporary rights at this property. The curb ramp reconstruction would not significantly impact the setting, as the setting is already defined by hardscape. Therefore, the proposed action would not significantly diminish the historic property's aspects of integrity.

**Readfield Grange (Samara Property Management, LLC, Sta. 202+70L to Sta. 203+35L)*****National Register-Eligible******Criteria Criterion A for Agriculture and Social History at the local level***

The proposed action would result in **No Adverse Effect** to the Readfield Grange. The proposed action would require temporary grading rights to construct a 5.5' wide bituminous sidewalk and concrete slipform curb along the Church Road facing elevation of the property. This would require temporary rights at this property. The sidewalk construction would not significantly impact the setting, as the setting is already defined by hardscape. Therefore, the proposed action would not significantly diminish the historic property's aspects of integrity.

**Readfield Union Meeting House (Union Church, Sta. 204+10L to Sta. 206+40L)*****National Register-Listed******Criteria A and C for Art and Architecture.***

The proposed action would result in **No Adverse Effect** to the Readfield Union Meeting House. The proposed action would require temporary grading rights for grading to construct a 5.5' wide bituminous sidewalk and concrete slipform curb along the Church Road facing elevation of the property. Existing trees, lamppost, and signage would be graded around. The proposed action would install lighting on an existing utility pole. This would require temporary rights at this property. The sidewalk construction would not significantly impact the setting, as the setting is already defined by hardscape. Therefore, the proposed action would not significantly diminish the historic property's aspects of integrity.

**Archaeological Resources**

There will be no archaeological resources affected by the proposed undertaking.

**Avoidance and Minimization Efforts**

The MaineDOT sought ways to avoid major impacts to the historic properties by containing the proposed sidewalk to the available ROW and limiting ROW impacts to grading and driveway work. The proposed action minimizes adverse impact by the construction of curb bump outs to delineate driveways which reduced the need for utility pole relocations and created on-street parking adjacent to the sidewalk in several locations. The proposed action further minimizes adverse impacts by grading around an existing tree at Readfield Grange and existing trees, lamp post, and signage at Readfield Union Meeting House. Overall, the proposed actions are sensitive additions that provide a walkable and pedestrian friendly environment with a separation from motorists and on-street parking for community events.

**Dismissed Alternatives**

The MaineDOT investigated two sidewalk improvement plans as part of the Concept Plan development. Options evaluated included sidewalks located on either the eastern or western side of the roadway. The proposed plan is a hybrid of both options with the sidewalk beginning on the west side and crossing over around midway to the east side.

**Public Involvement**

MaineDOT contacted the four federally recognized Native American tribes in Maine. The Houlton Band of Maliseet Indians and the Penobscot Nation replied with no concerns about the undertaking. The other tribes did not respond.

The Town of Readfield was contacted at the commencement of the Section 106 review process and were asked to provide any questions or comments related to the historic review. No replies were received.

Two public meetings were held. Comments received as a result of the meeting included concerns regarding building impacts, property impacts, and access to community features (trails and event locations), drainage, traffic calming, sidewalk alignment, lighting design, and signage.

The public process is ongoing.

**Proposed Materials**

HMA, concrete, granite, stone dust.

**Plans**

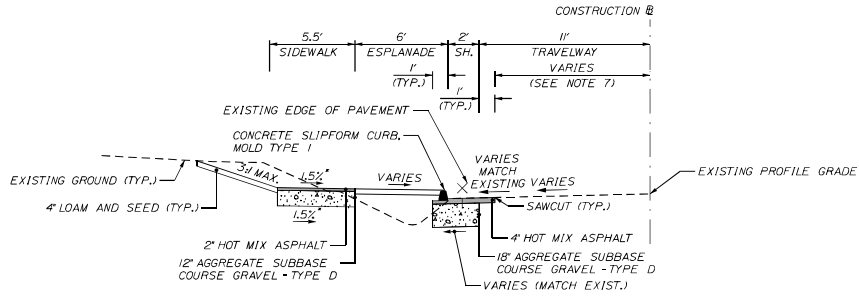
Town Of Readfield Church Road, MaineDOT WIN 25113.00, Final PDR, May 13, 2024.

**Attachments**

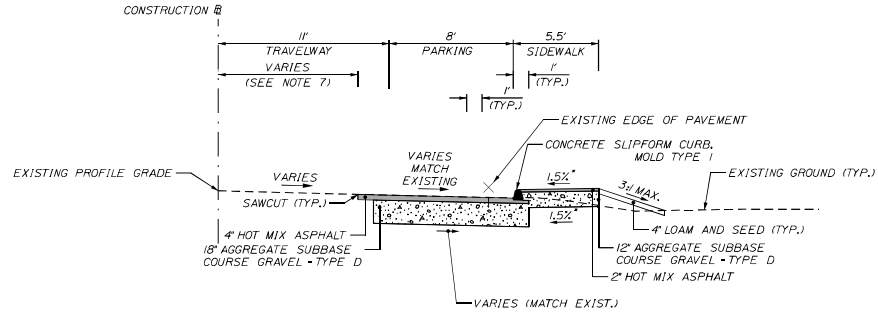
Leith Smith, MHPC, to Julie Senk, MaineDOT, December 15, 2021

Kirk Mohny, MHPC, to Julie Senk, MaineDOT, March 2, 2022

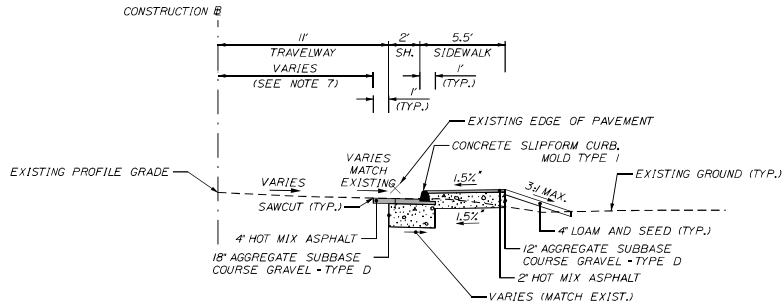
SH. = SHOULDER



**CHURCH ROAD  
SIDEWALK WITH ESPLANADE  
TYPICAL SECTION**  
• SEE NOTE 1



**CHURCH ROAD SIDEWALK  
ON-STREET PARKING  
TYPICAL SECTION**  
• SEE NOTE 1



**CHURCH ROAD SIDEWALK  
TYPICAL SECTION**  
• SEE NOTE 1

**NOTES:**

1. SIDEWALK AND PEDESTRIAN RAMP CROSS SLOPES MAY VARY AND SHALL BE BETWEEN 2.0% MAXIMUM AND 0.5% MINIMUM.
2. THE PAVEMENT AND SUBBASE DEPTHS SHOWN ON THE PLANS ARE INTENDED TO BE NOMINAL.
3. WHEN SUPERELEVATION EXCEEDS THE SLOPE OF THE LOW SIDE SHOULDER, THE LOW SIDE SHOULDER SHALL HAVE THE SAME SLOPE AS THE TRAVELWAY.
4. CROSS SLOPES FOR BOTH NORMAL AND SUPERELEVATED SECTIONS FOR ALL COURSES OF SUBBASE AND PAVEMENT SHALL BE STRAIGHT.
5. THE STATIONING UNDER EACH TYPICAL IS APPROXIMATE.
6. PAVEMENT AND GRAVEL DEPTH WITHIN PROPOSED CROSS TRENCH AREAS SHALL MATCH THE TYPICAL SECTIONS OR SHALL MATCH THE EXISTING PAVEMENT AND GRAVEL DEPTH, WHICHEVER IS GREATER.
7. SAWCUT LOCATIONS VARY, SEE PLAN AND CROSS SECTIONS FOR ADDITIONAL INFORMATION.

NOT TO SCALE

Date: 4/26/2024

Username: Jacobs,Curtis

Division: HIGHWAY

Filename: ...:\00\Highway\002\_Typical.dgn

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TOWN OF READFIELD  
8 OLD KENTS HILL ROAD  
READFIELD, MAINE 04855

WPN  
25113.00

| PROJ. MANAGER | DATE | BY | REVISION | DESCRIPTION    |
|---------------|------|----|----------|----------------|
|               |      |    | 1        | INITIAL DESIGN |
|               |      |    | 2        | FINAL DESIGN   |
|               |      |    | 3        | CONSTRUCTION   |
|               |      |    | 4        | AS-BUILT       |
|               |      |    | 5        | REVISION 1     |
|               |      |    | 6        | REVISION 2     |
|               |      |    | 7        | REVISION 3     |
|               |      |    | 8        | REVISION 4     |
|               |      |    | 9        | FILE CHANGES   |

READFIELD  
CHURCH ROAD SIDEWALK IMPROVEMENTS  
TYPICAL SECTIONS

SHEET NUMBER

2

OF 19



Relationships. Responsiveness. Results.  
www.gorrillpalmer.com  
207.772.2515

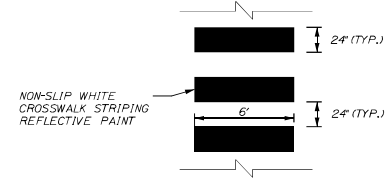




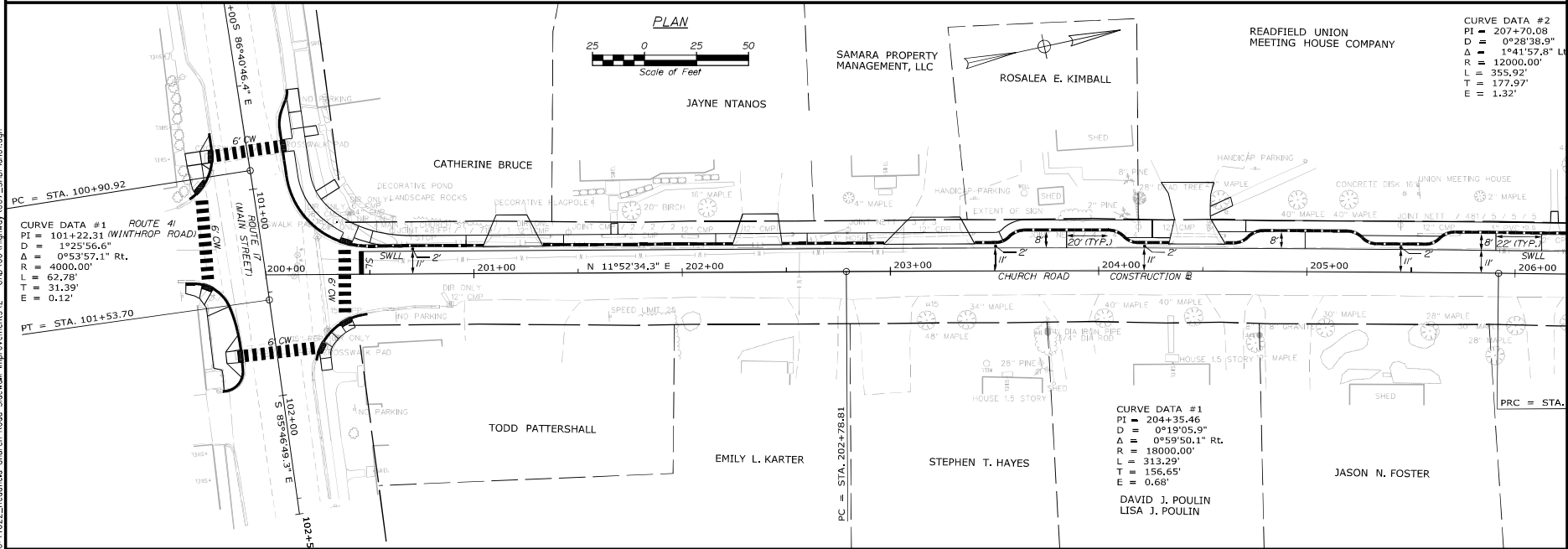
| STRIPING LEGEND |  |
|-----------------|--|
| SWLL            | 4" SOLID WHITE LANE LINE                         |
| SYLL            | 4" SOLID YELLOW LANE LINE                        |
| DWLL            | 4" DOTTED WHITE LANE LINE (2' LINE AND 8' GAP)   |
| BWLL            | 4" BROKEN WHITE LANE LINE (10' LINE AND 30' GAP) |
| SL              | WHITE STOP LINE (24" WIDE)                       |
| CW              | WHITE CROSSWALK (24" WIDE WITH 24" GAP)          |

NOTES:

1. THE CONTRACTOR SHALL REMOVE ALL EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH PROPOSED MARKINGS, BY MEANS APPROVED BY THE INSPECTOR. PAYMENT SHALL BE MADE UNDER ITEM 627.77, REMOVING EXISTING PAVEMENT MARKING.
2. ALL SIGNING AND STRIPING MATERIALS AND PLACEMENT SHALL CONFORM TO THE MAINE DOT STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS AND STANDARD DETAILS AND WITH THE FEDERAL HIGHWAY ADMINISTRATION 'MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES'.
3. ALL PAVEMENT MARKINGS SHALL BE MAINTAINED TO 70% RETROREFLECTIVITY OR BETTER FOR A PERIOD OF ONE YEAR FOLLOWING PROJECT COMPLETION.



CROSSWALK STRIPING DETAIL (PIANO KEY)



TOWN OF READFIELD  
 8 OLD KENTS HILL ROAD  
 READFIELD, MAINE 04355

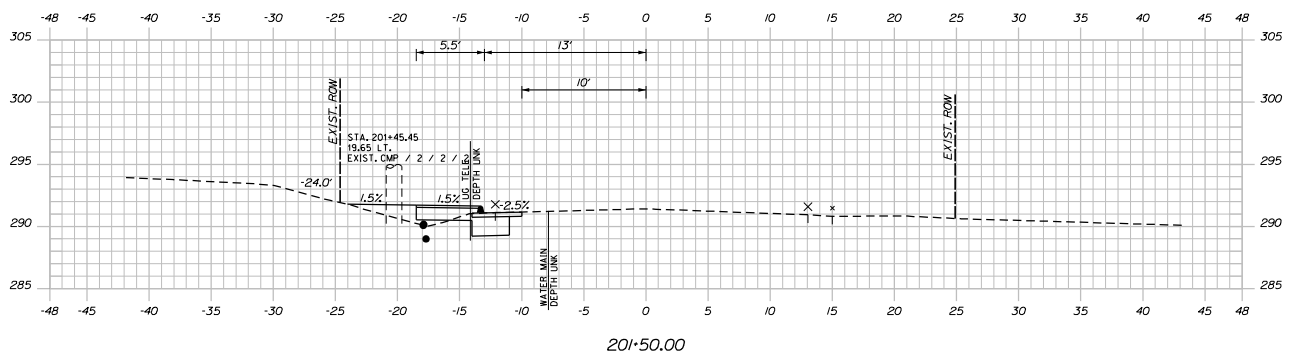
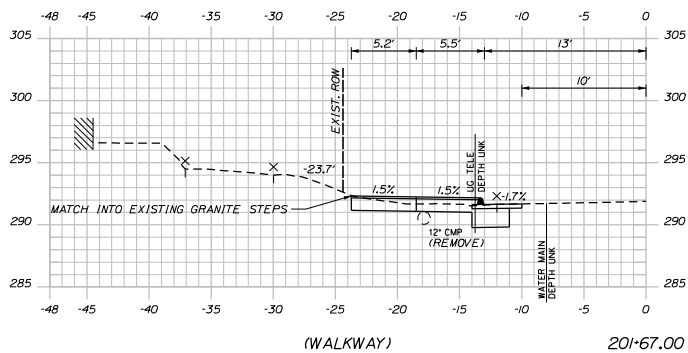
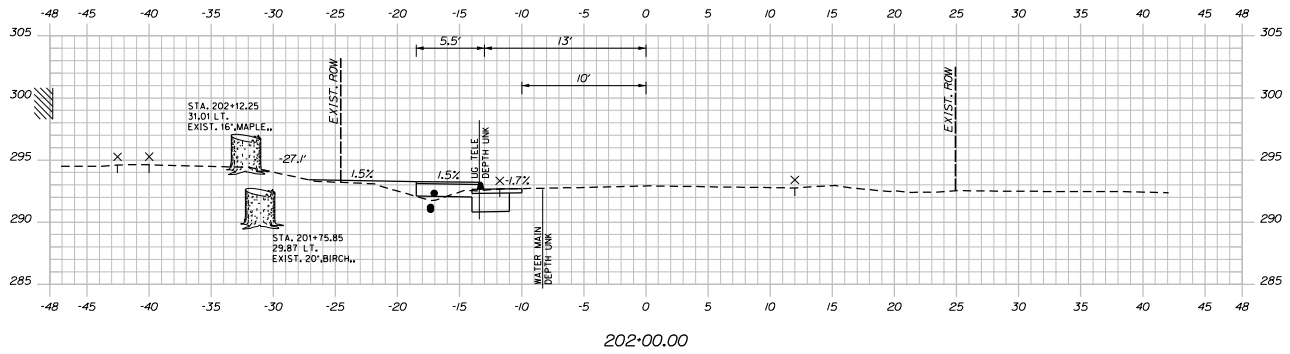
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|---------------|------|----|------|----------|----------------|
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|               |      |    |      | 2        | REVISED DESIGN |
|               |      |    |      | 3        | FINAL DESIGN   |

READFIELD  
 CHURCH ROAD SIDEWALK IMPROVEMENTS  
 STRIPING PLANS

SHEET NUMBER  
 7  
 OF 19

WN  
 25113.00

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Sta. 201+50.00 to Sta. 202+38.00

SHEET NUMBER  
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OF 19

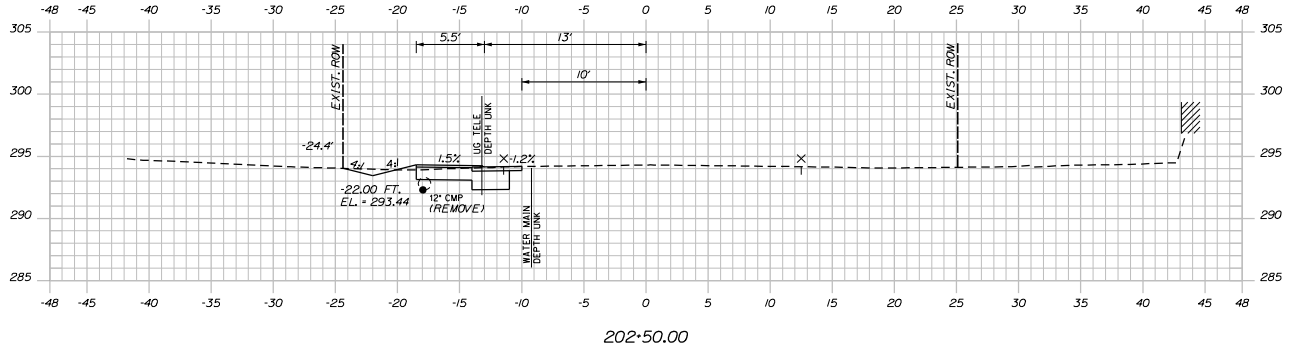
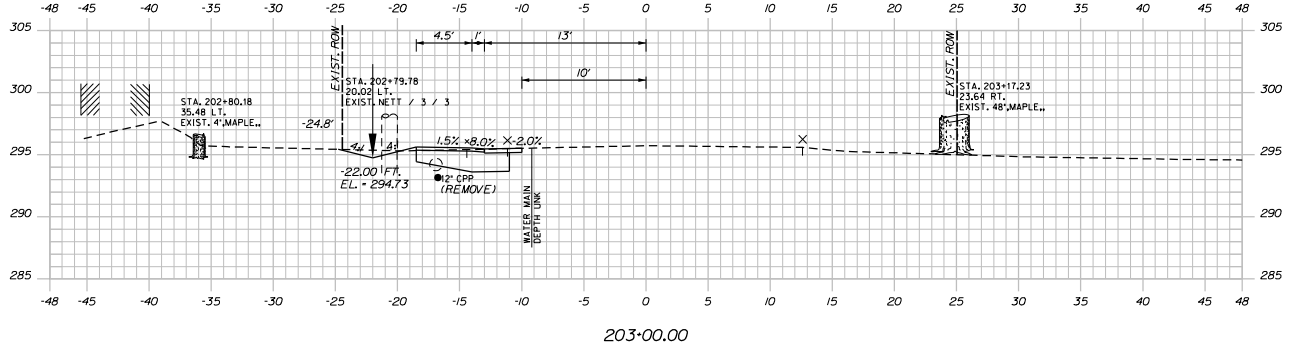
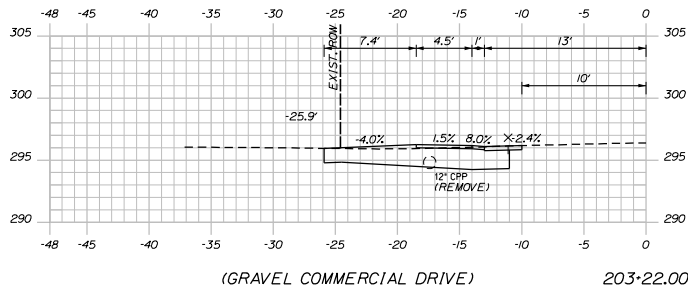
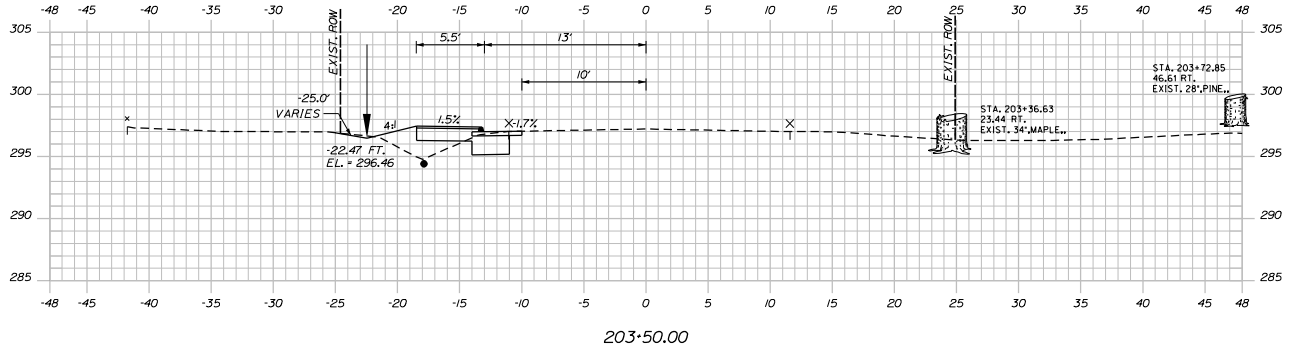
**READFIELD  
CHURCH ROAD SIDEWALK IMPROVEMENTS  
CROSS SECTIONS**

| PROJ. MANAGER    | E. DYER   | BY          | DATE |
|------------------|-----------|-------------|------|
| DESIGN-DETAILED  | FITZWARR  | B. NAULT    | 5/24 |
| CHECKED-REVIEWED | T. LANDRY | D. ETTINGER | 5/24 |
| DESIGN-DETAILED  | -         | -           | -    |
| REVISIONS 1      | -         | -           | -    |
| REVISIONS 2      | -         | -           | -    |
| REVISIONS 3      | -         | -           | -    |
| REVISIONS 4      | -         | -           | -    |
| FIELD CHANGES    | -         | -           | -    |

SIGNATURE \_\_\_\_\_  
P.E. NUMBER \_\_\_\_\_  
DATE \_\_\_\_\_

TOWN OF READFIELD  
8 OLD KENTS HILL ROAD  
READFIELD, MAINE 04355  
  
WIN  
25113.00

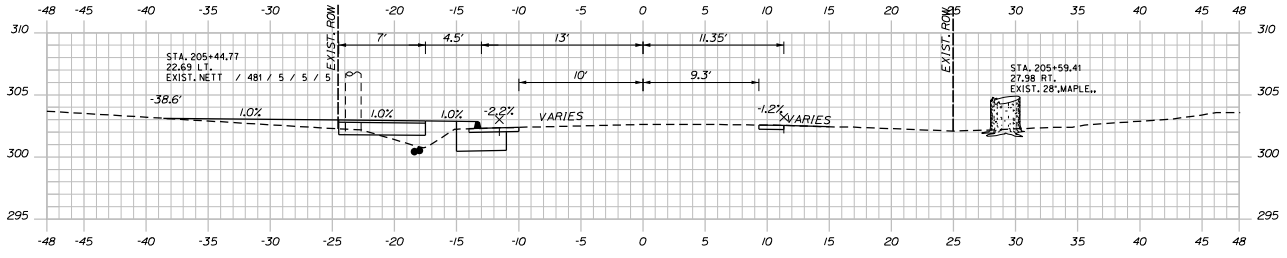
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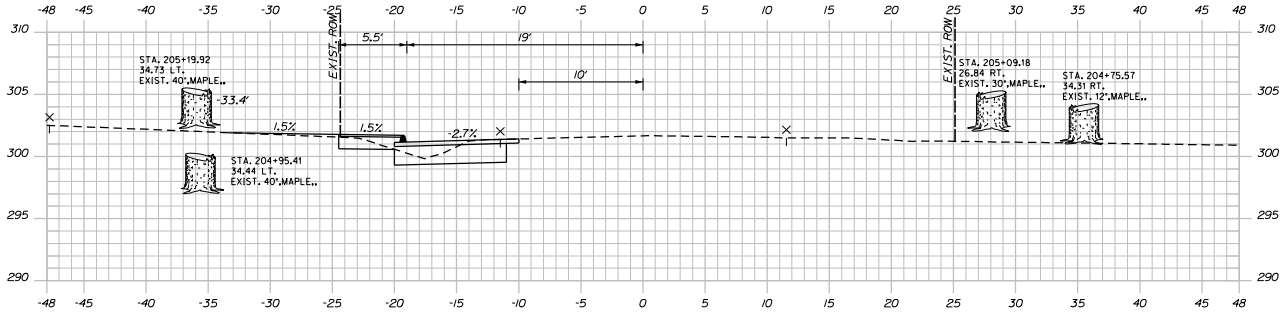
Sta. 202+50.00 to Sta. 203+77.00

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| SHEET NUMBER<br><b>11</b><br>OF 19 | <b>READFIELD</b><br>CHURCH ROAD SIDEWALK IMPROVEMENTS | PROJ. MANAGER<br>E. DYER          | BY<br>B. NAULT                    | DATE<br>5/24  | SIGNATURE<br>_____<br>P.E. NUMBER<br>_____<br>DATE<br>_____ | TOWN OF READFIELD<br>8 OLD KENTS HILL ROAD<br>READFIELD, MAINE 04355<br>WIN<br>25113.00 |  |
|                                    | <b>CROSS SECTIONS</b>                                 | DESIGN-DETAILED<br>J. FITZMAURICE | CHECKED-REVIEWED<br>T. LANDRY     | DATE<br>5/24  |   |   |  |
|                                    |   | DESIGN-DETAILED<br>J. FITZMAURICE | DESIGN-DETAILED<br>J. FITZMAURICE | REVISIONS 1<br>REVISIONS 2<br>REVISIONS 3<br>REVISIONS 4<br>FIELD CHANGES |   |   | REVISIONS 1<br>REVISIONS 2<br>REVISIONS 3<br>REVISIONS 4 |
|                                    |   |                                   |                                   |   |   |   |  |

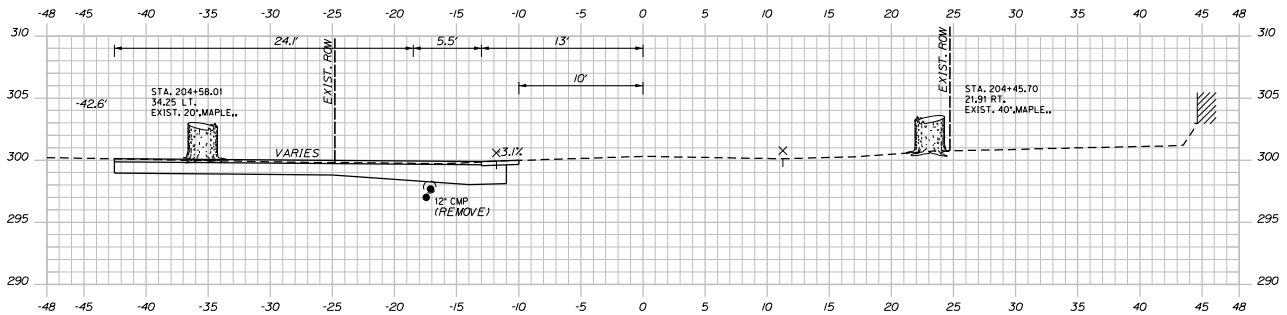
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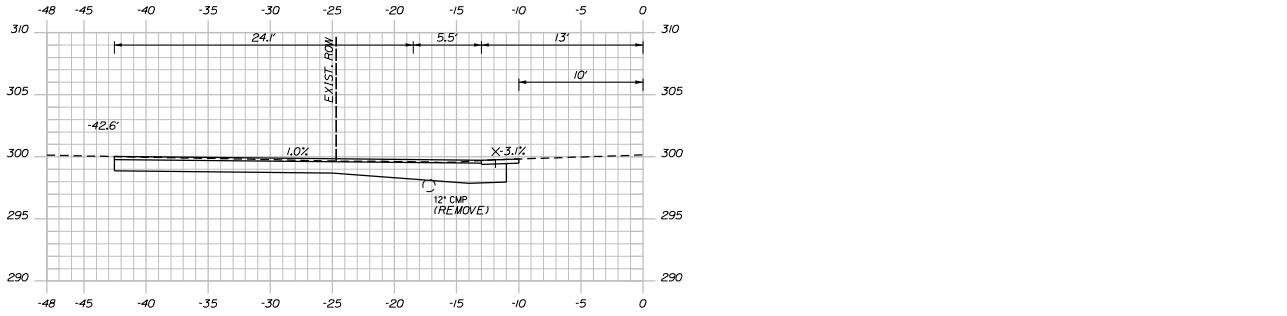
205+50.00



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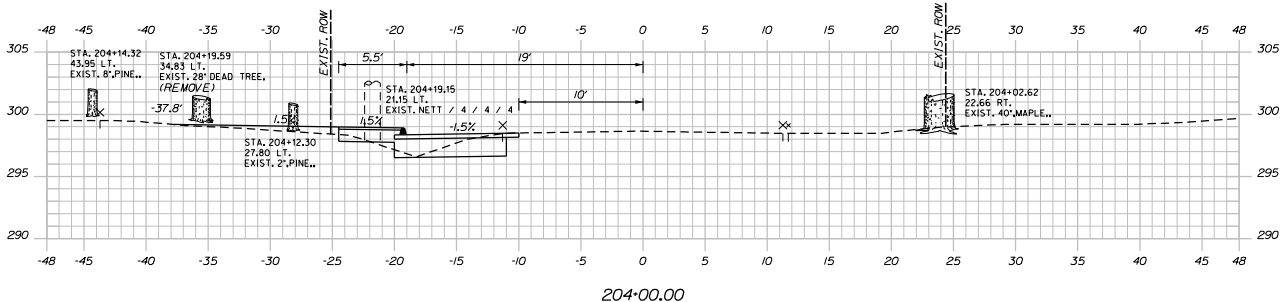


204+50.00



(PAVED COMMERCIAL DRIVE)

204+45.00

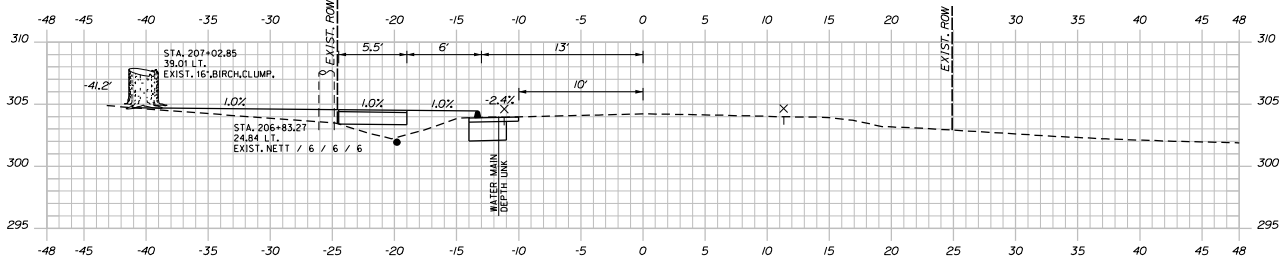


204+00.00

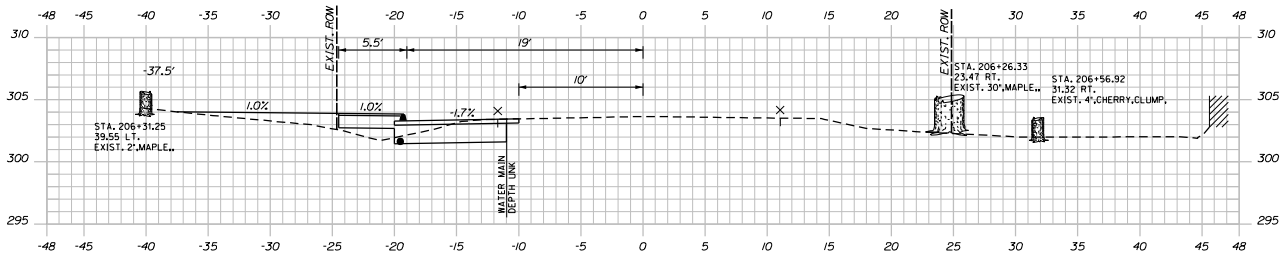
Sta. 204+00.00 to Sta. 205+50.00

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| SHEET NUMBER<br><span style="font-size: 2em; font-weight: bold;">12</span> | READFIELD<br>CHURCH ROAD SIDEWALK IMPROVEMENTS |  | PROJ. MANAGER<br>E. DYER         | BY<br>B. NAULT                               | DATE<br>5/24 | SIGNATURE<br>_____<br>P.E. NUMBER<br>_____<br>DATE<br>_____ | TOWN OF READFIELD<br>8 OLD KENTS HILL ROAD<br>READFIELD, MAINE 04355<br>WIN<br>25113.00 |
|  | CROSS SECTIONS                                 |  | DESIGN-DETAILED<br>J. FITZMAUREL | CHECKED-REVIEWED<br>T. LANDRY<br>D. ETTINGER | DATE<br>5/24 |   |   |
|  |  |  | DESIGN-DETAILED<br>_____         | _____  | _____        |   |   |
|  |  |  | REVISIONS 1<br>_____             | _____  | _____        |   |   |

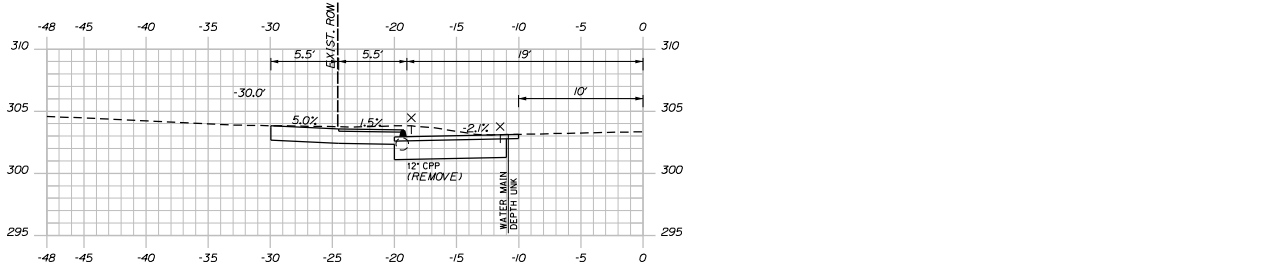
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207+00.00

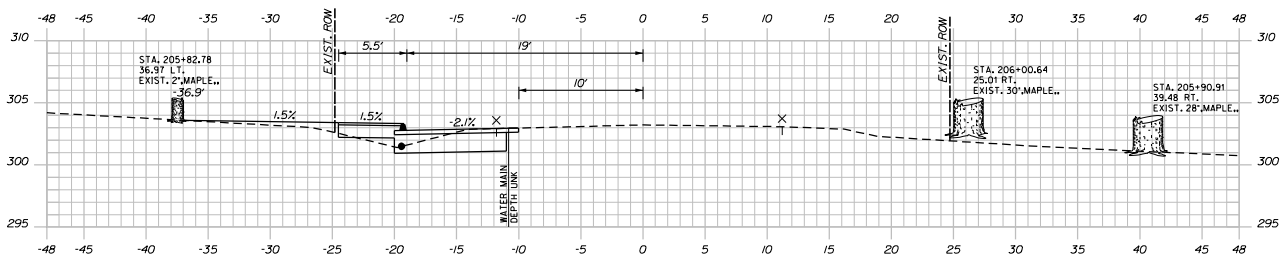


206+50.00



(GRAVEL WALKWAY)

206+19.00



206+00.00

Sta. 205+64.00 to Sta. 207+00.00

|  |  |                                  |                               |              |   |  |
|--|--|----------------------------------|-------------------------------|--------------|---|--|
| SHEET NUMBER<br><span style="font-size: 2em; font-weight: bold;">13</span> | READFIELD<br>CHURCH ROAD SIDEWALK IMPROVEMENTS | PROJ. MANAGER<br>E. DYER         | BY<br>B. NAULT                | DATE<br>5/24 | SIGNATURE<br>_____<br>P.E. NUMBER<br>_____<br>DATE<br>_____ | TOWN OF READFIELD<br>8 OLD KENTS HILL ROAD<br>READFIELD, MAINE 04355 |
|  | CROSS SECTIONS                                 | DESIGN-DETAILED<br>J. FITZMAUREL | CHECKED-REVIEWED<br>T. LANDRY | DATE<br>5/24 |   |  |

**STATE OF MAINE**  
**Memorandum**

Date: December 15, 2021

To: Julie Senk, Historic Coordinator, Maine DOT/ENV

From: Leith Smith, MHPC

Subject: Results of Field Check Recommended from Initial Archaeology Review

Project: WIN 25113.00, MHPC #1855-21; Readfield

Construct approximately 1,700 ft of sidewalk on Church Street beginning at Main Street and extending north 0.33 of a mile to connect to the town's recreational complex.

Dear Julie,

After reviewing our archaeological survey records and maps, including historic maps and surficial geology maps, we conducted an archaeological field check consisting of a pedestrian survey of the project APE to identify potential impacts to historic properties. The check found that the proposed sidewalk construction will have no effect on any historic properties. In following the procedures specified in the Federal Highway/MHPC/MDOT programmatic agreement, we **recommend a finding that there will be no archaeological properties affected by the proposed undertaking.**

# STATE OF MAINE

## Memorandum

Date: February 11, 2022

To: Kirk F. Mohney, MHPC  
From: Julie Senk, Maine DOT/ENV  
Subject: Section 106 request for concurrence  
Project: Readfield 25113.00, MHPC #1855-21  
Scope: Sidewalk construction

1855-21

The Maine DOT has reviewed this project pursuant to the Maine Programmatic Agreement (PA) and Section 106 of the National Historic Preservation Act of 1966, as amended.

The proposed project is sidewalk construction on Church Street beginning at Main Street and extending north approximately 0.33 of a mile.

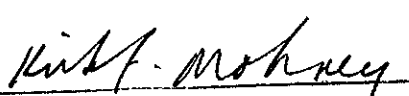
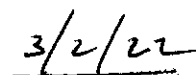
In accordance with 36 CFR Part 800.4, the following identification efforts of historic properties were made:

- 800.4(a) (1) – The Area of Potential Effect (APE) includes properties/structures adjacent to the roadway and within the project limits. The project limits are defined by the roadway and the immediately adjacent area. Properties/structures adjacent to this project limit are considered to be within the APE. The APE is shown as a red polygon on the attached map.
- 800.4(a) (2) – Review of existing information consisted of researching the National Register and MHPC survey databases. The Maine Historic Preservation Commission Archaeological staff has reviewed this undertaking.
- 800.4(a) (3) – The Town of Readfield and the Readfield Historical Society were contacted via letter and asked to comment on knowledge of, or concerns with, historic properties in the area, and any issues with the undertaking's effect on historic properties. The Town was also requested to provide information regarding local historic societies or groups. No replies have been received.
- 800.4(a) (4) – Letters outlining project location and scope were sent to the 4 federally recognized Tribes in Maine. The Houlton Band of Maliseet Indians replied with no concerns about the undertaking.
- 800.4(c) – The Maine DOT conducted historic architectural surveys within the APE to determine if properties met National Register criteria. Maine Historic Preservation Commission Archaeological staff has reviewed the undertaking and recommended "a finding that there will be no archaeological properties affected by the proposed undertaking." **The MaineDOT has determined that one architectural property is listed in the National Register of Historic Places and three architectural properties are eligible for listing in the National Register.**

*In accordance with the PA and 36 CFR Part 800, please reply with your concurrence or objection to the determination of eligibility for listing in the National Register of Historic Places within 30 days. If more information is deemed necessary, please supply a list of the specific resources in question.*

Please contact me at Julie.Senk@maine.gov or 592-3486 if you have any questions. Thank you.

cc: CPD e-file  
enc: Architectural survey package

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|--|---|
| CONCUR   |   |
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| Kirk F. Mohney,<br>State Historic Preservation Officer                               | Date  |